



New Office Unit

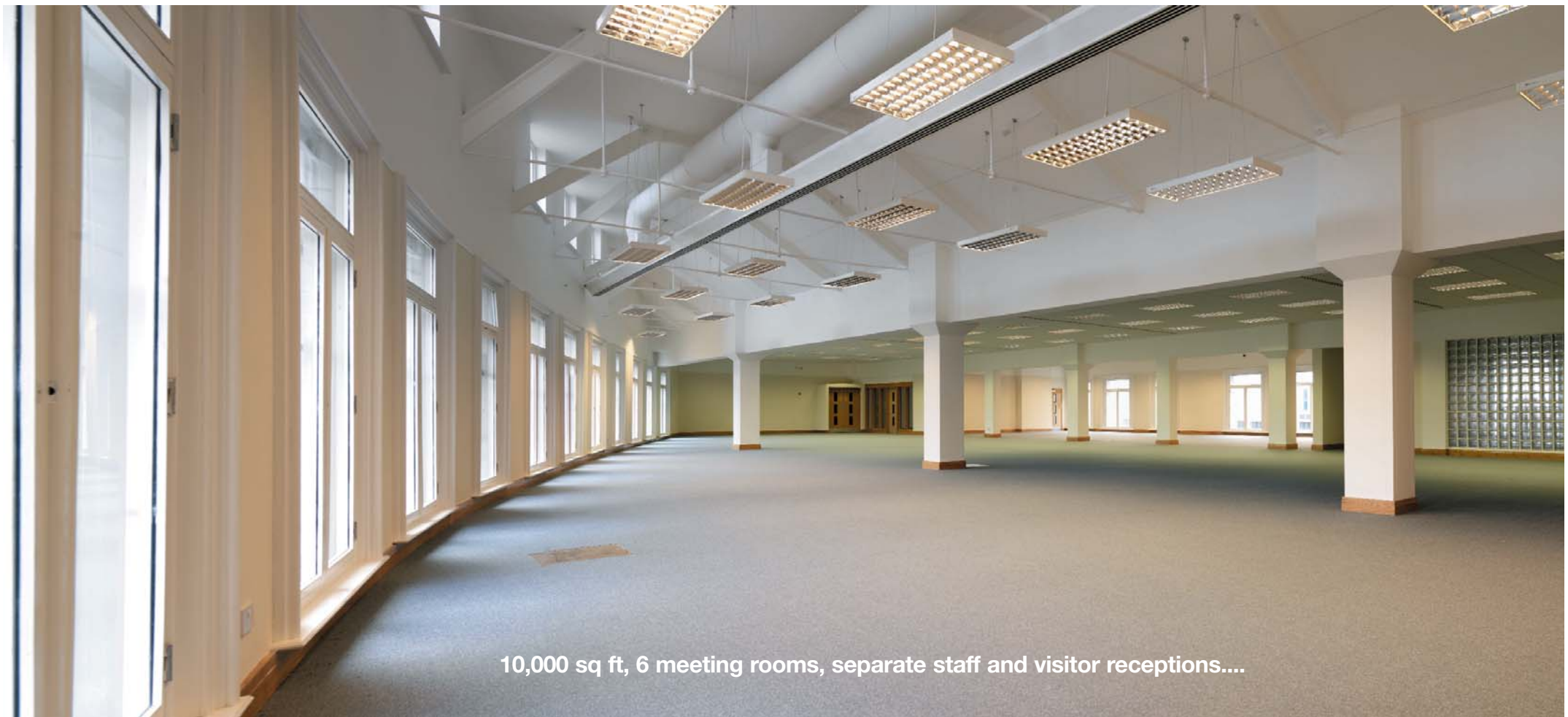
One Central Parkway | Off Neville Street

Newcastle-upon-Tyne | NE1 3BZ

To Let

10,000 sq ft (929 sq m) of office space
Centrally located next to Newcastle Central station
Extensively refurbished

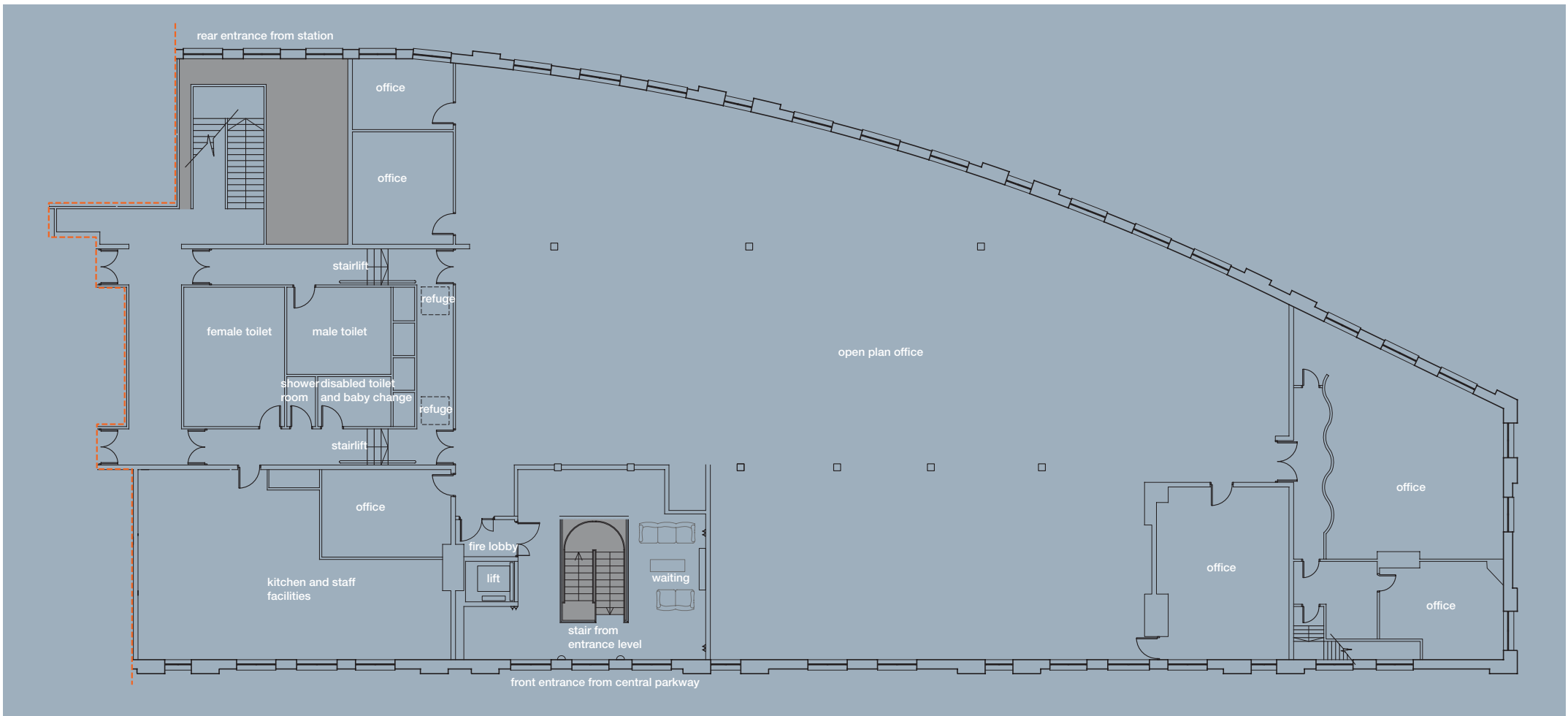
 **spacia**
Flexible business space



10,000 sq ft, 6 meeting rooms, separate staff and visitor receptions....

Central Parkway is a traditional Grade II Listed building that has been refurbished in a contemporary style.

The offices are located along Central Parkway directly between the internationally renowned Centre For Life and Newcastle Central Station in close proximity to the regional road networks.



Schedule of Accommodation

Net Internal Area 10,000 sq ft (929 sq m).

In addition, there is archive storage on the ground floor.

Specification

- CCTV entry phone system
- Full fire alarm
- Full heating and ventilation system
- Passenger lift
- Kitchen facilities and dining room
- Disabled and baby changing facilities
- Shower room
- Separate staff and visitor reception areas

Car Parking

There are up to 10 parking spaces available nearby by separate arrangement.

Terms

The building is available by way of a new lease for a term of years to be agreed.

Rent

Upon application.

Service Charge

A service charge will be payable to cover the costs of maintaining the exterior of the building, structure insurance, fire and security alarms, heating and ventilation systems and all other shared facilities.

Legal Costs

The incoming tenant is to contribute towards the landlord's legal costs incurred in the preparation and completion of any legal documentation.



Benefits of businesses coming to No.1 Central Parkway are:-

- Close to Newcastle Central Railway Station and The Metro.
- Close to the City Centre and all local amenities.
- Close to the Quayside, the International Centre for Life and the New Silverlink Development at Stephenson's Quarter.
- The main public NCP Car Park for the area is the Times Square car park, opposite Jury's Hotel, on the other side of the Centre for Life, which is about a 5 minute walk away.
- Local eateries are mainly on the Station Concourse, at the Centre for Life, Times Square and along Neville Street.



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Website <http://www.spacia.co.uk>



One Central Parkway |
Off Neville Street

Viewing

For further information or a viewing please contact:-

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